



INFORMED HOUSE INSPECTIONS LIMITED
WHEN BUYING OR SELLING, BE INFORMED

Home Inspection Report

Prepared Exclusively For
Mr Jo Bloggs



Property Located At
10 Moana Grove
Tawa, Wellington
New Zealand

Inspection Date: 24th June 2013
Inspected By: Mark Sewell
Report No.: RPT118

Informed House Inspections LTD

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Contents

Summary	3
General Info	5
Roofing	7
Insulation	14
Exterior	18
Structure	29
Heating	34
Electrical	39
Plumbing	44
Interior	53
Recommended Reading	63

How To Read This Report

This report is organized into sections which represent the home's functional areas. Within each section you will find a general description of the area indicating what was and was not inspected. You will also find a list of limitations, if any, that restricted, or otherwise impacted, the inspection. A description and other useful information about the area is included, followed by the inspector's observations. Each observation will include a rating and an action recommendation.

Observations will include one of the following ratings:

Y = Yes - the item is present.

N = No - the item is not present.

S = Satisfactory† the item is in satisfactory condition.

F = Fair / Marginal† the item is fair or marginal condition.

P = Poor† the item is in poor condition.

U = Unsatisfactory -† the item is in unsatisfactory condition.

MG = Missing - the item is generally required and is missing.

SP = Suspect - the item is suspect and cannot be given a satisfactory rating.

SA = Safety Issue - there is a safety issue with the item that poses a risk of injury or death and is in need of immediate attention.

NA = Not Applicable - the item is not present or required, and cannot be rated

NV = Not Visible - the item is not visible for evaluation.

Any of the following action recommendations will also be included with the observation.

N = None - no action is required

I = Improve - denotes improvements or upgrades that are recommended but not required.

P = Provide / Install - denotes items that are missing and should be installed, but are not otherwise critical.

R = Repair / Replace - denotes an item that is not functioning as intended and needs to be repaired or replaced before severe problems are encountered.

C = Major Concern - denotes an item that is considered significantly deficient. This item needs to be corrected and is likely to involve significant expense.

M = Monitor - denotes an item that will eventually need to be replaced or repaired but is not immediately in need of attention.

E = Further Evaluation - denotes an item that is suspect but requires further evaluation. Further evaluation could be from a qualified contractor, a specialist, or simply ask the current homeowner.

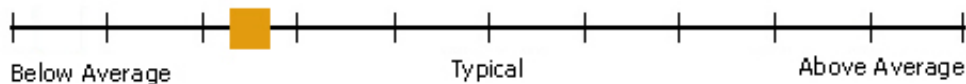
Note: Observations noted in the report are indicative of issues found, and may not be the sole instance of the reported problem. Multiple instances may be present. This is particularly true when the observation refers to more than one occurrence, as in doors, windows, etc.

Summary

A selection of issues which are of high interest, or potentially represent a significant expense are listed below. This page must not be considered the complete inspection report. Please read all the pages and attached documentation for a full understanding of the present condition of the house based on a visual examination of the readily accessible features at the time of the inspection. Please be aware that conditions may change prior to you moving in. This report is not a guarantee, warranty or an insurance policy with regards to the property.

Overall Rating

The following rating reflects the inspector's opinion on both the original construction quality and the current condition of the home based on a comparison of similar type homes.



Summary

This summary is provided to highlight those findings that are believed to be significant in nature, or which appear to be in immediate need of repair, or are a safety concern. The inspection was visual only in the areas that were accessible at the time of the inspection. No dismantling of building components or systems, no destructive testing, no engineering functions, and no code compliance inspections were performed. A summary of the findings are:

Overall condition of the house is average for a building of this age and type. The exterior cladding requires maintenance in many areas noted. Many external weather board junctions need re-sealing. The exterior cladding including timber windows need sanding back and re-painting. There is minor rot noted to areas of weather board that will need attention. The front section of the lower garage has not been built to a tradesmen like manner and will need attention. Neither garage door will shut as frame work has twisted, this will need attention. The roof appears in reasonable condition. I would recommend up grading older type lead nails be replaced, with newer screw type roof fixing. Many roof fixing have lifted and will need attention. The lower concrete piled foundation area requires attention as the piles have been under mined in areas. This is not ideal and will need attention. The interior of the home appears in reasonable condition, showing normal wear and tear for the homes age. The hot water cylinder is leaking and will need up grading. Paint wear to walls noted in areas and will need attention at some stage.

Roofing

The roof appears in reasonable overall condition. The older type lead head nails have lifted in many areas and will need attention. Some lead heads have come away in areas noted. I would recommend up grading older type lead head nails, with newer screw type fixings. The ridge and valley flashings appear well fixed in place and are in good condition. The lower garage roof area appears in good order and is well detailed at the cladding junction. The garage roof shows moisture to the front framing and will need attention. The spouting is leaking in areas and will need attention. The downpipe needs reconnecting at the spouting junction noted at the front door area. The flue from the wood burner appears in good order.

Insulation

The ceiling space and subfloor areas show no insulation, but is highly recommended. There was no access to the exterior wall framing, given the age of the home, no insulation is assumed. The bathroom fan is in good working order, but does need venting to the exterior noted. The kitchen range hood appears in reasonable overall condition. There is no dryer vent to the laundry area, but is recommended. Please note it is very important to have the bathroom, kitchens and laundry areas well vented. Good insulation and ventilation is very important for a clean healthy home.

Exterior

The exterior of the home appears in average overall condition. The cladding requires maintenance in many areas noted. many weather board junctions need re-sealing. I would recommend boxed corners be installed to all exterior weather board junctions. Many window and cladding junctions need re-sealing. There is rot noted to areas of weather board, that will need attention. The timber trim around the front door is poorly fitted and will need attention. The main deck area is in good condition with the hand rail well fixed in place. The rear deck area requires maintenance in areas noted. The lower garage framing has twisted and the doors want close, this will need attention. The exterior needs re-painting from top to bottom noted. The grounds appear in reasonable condition. The retaining wall to the lower area is showing seepage and will need attention. the foot path to the clothes line area needs retaining. I would recommend having the exterior works quoted, so all costs are known and an informed decsion can be made.

Structure

The roof framing is dry and is in good overall condition. The odd roof fixing is leaking at the roof junction and will need attention. There was no access to the exterior wall framing, so could not be sighted. All exterior walls do appear straight. The subfloor concrete pile foundations have been under mined in areas and will need attention. The exterior concrete ring foundation has also been under mined also, which is not ideal and will need attention. All concrete piles should have the surrounding dirt from the bottom edge of the pipe 1500mm out and up on a 45 degree angle. These piles will need re-supporting noted. There is moisture getting into the lower foundation at the rear garage area and will also need attention. The garage slab has been poured by a handy man noted and is not done to a tradesmen like manner. The framing to the front garage extension is the wrong size and will need attention. The garage doors won't shut all the way home because of this, and will need attention.

Heating

There is a wood burner noted to the lounge area and appears in reasonable condition. The heated towel rail to the bathroom needs re-fixing at the wall junction noted. The older type low pressure hot water cylinder is leaking and will need up grading. There were no other heating systems noted at the time of the inspection.

Electrical

The meter and switch boards appear in reasonable overall condition. I would recommend up grading older type fuses, with the newer breaker type. The meter box cover is showing surface rust and will need attention. All exterior light fittings appear in good condition. The bathroom fan is in good working order, but does need venting to the exterior. The kitchen range hood is in reasonable condition. All interior switches and light fittings appear in reasonable condition. The odd switch needs re-fixing at the wall junction noted. Heated towel rails noted but does need re-fixing at the wall junction. Overall the electrical system appears in reasonable condition. No major concerns were noted at the time of the inspection.

Plumbing

The bathroom appears in reasonable condition. The tiled wall areas around the shower over the bath area are showing high moisture and will need attention. The window frame and sill is also showing wear in this area and will need attention. The wall tiles need re-grouting in areas. The window frame and wall should be protected when the shower is in use noted. The vanity shows water damage in areas noted. The toilet needs re-fixing and sealing at the floor junction noted. The kitchen is in reasonable overall condition. The laundry area appears in reasonable condition. There is a high moisture reading to the toilet lower exterior wall, this will need attention. The older type low pressure hot water cylinder is leaking and will need up grading. The waste pipes in the subfloor area need supporting. The laundry tap is leaking and will need attention. The door handle to the toilet area needs replacing.

Interior

No significant issues with the interior found at the time of inspection. The interior of the home appears in reasonable overall condition. The moisture fluctuations to all exterior walls appear normal, except to the shower wall area and the lower exterior wall in the toilet area, this will need attention. There is movement cracking noted to areas, this is very common to most homes. All windows and doors appear in reasonable condition. The odd window needs easing and some window hardware needs attention. The carpet is showing heavy wear in places and will need attention at some stage. The odd internal door needs easing also. There is paint wear noted to areas, which is very common for a home of this age. The timber floor boards appear in good order noted. The tiled ceiling in the garage area is showing wear in areas noted. The exterior walls to this area are not to a tradesmen like manner and will need attention at some stage.

General Information

This report represents the general condition of the home listed below. As with all homes, it is important to remember that maintenance and improvements to house systems will be required from time to time. The improvements recommended in this report are not considered unusual for a home of this age.

Inspector Name: **Mark Sewell**

Company: **Informed House Inspections LTD**

Qualification: **Trade qualified experienced Inspector**

Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with nzs 4306:2005 residential property inspection and I am competent to undertake this inspection

An inspection carried out in accordance with nzs 4306:2005 is not a statement that a property complies with requirements of any Act regulation or bylaw, nor is the report a warranty against any problems developing after the date of the inspection.

Site Information

Address : 10 Moana Grove
Tawa, Wellington
New Zealand

MLS# :

Inspection Start Time : 9am
Inspection End Time : 10:30 AM

Occupied : Yes
Year Built : Unkown
House Size : under 1000 sq. ft.
Construction : Wood Frame
Furnished : Yes

Structure Description

Style : House
Stories : 2
Foundation : Basement
Orientation (Front Facing) : East

Weather At Time Of Inspection

Climate : Clear
Last Rain / Snow : 3 Days Ago
Temperature : degrees celsius
Humidity :
Soil Conditions : Damp

People Present At Inspection

Purchaser No
Home Owner Yes

Children	No
Buyer's Agent	Yes
Seller's Agent	No
Tenants	No
Neighbour	No
Family	No
Friends	No
Nobody	No
Other	No

Roofing General

The inspection of the roofing system is in conjunction with the NZS4306:2005 Residential Property Inspection Standard guidelines. According to the guidelines, the home inspector will inspect the roof covering, the roof drainage systems, the flashings, and the skylights, chimneys, and roof penetrations. The inspector will describe the roof covering and report the methods used to inspect the roof.

The home inspector is not required to inspect the antennae, the interiors of flues or chimneys which are not readily accessible, or other installed accessories.

See the NZS4306:2005 Residential Property Inspection Standard for more detail.

While every effort is made to find all areas of concern, some problems may go unnoticed. The inspection is not meant to be technically exhaustive. Please keep in mind that the inspector has your best interest at heart. Any repair items mentioned in this report should be considered before purchase. It is highly recommended that qualified contractors be used to further inspect or repair issues identified in this inspection report.

As a general rule, roofing systems are designed to last 12 to 15 years at least. That being said, a roof, which is not leaking today, may leak at any time for any number of reasons. This inspection is not a guarantee that the roof will never leak.

When it comes to repairing a roof, contractors will tend to want to replace the entire roof, rather than repair a portion of the roof. The reasoning behind this is that if the roof leaks anytime after they make the repair, they will have to come back again and fix it... even if it's not in the same spot. Contractors would rather redo the entire roof, ensure it is done properly and will not leak, than take the chance on a repair. Something to think about.

Almost all skylights will leak eventually. There may be no evidence of leakage at the time of inspection, but you should be aware that this is a potential area for water leakage at any time.

Cost will depend on the extent of the work and the approach taken. In some cases, the best approach cannot be adequately determined during the course of a onetime visual inspection. Any figures given are very rough estimates. It is recommended that you obtain quotations from at least three contractors. Our experience has shown that quotes will often vary by as much as 300%.

Roofing Description And Limitations

Covering - Main slope :	Corrugated Iron	In Reasonable Condition
Covering - Second Slope :	Corrugated Iron	In Reasonable Condition
Covering - Flat Roof :	Not Applicable	Not Applicable
Roof Construction :	Pitched Roof	
Roof Finish :	Painted	
Probability of Leakage :	Low	
Chimneys :	Steel Flue	Appears Sound
Flashings :	Galvanised Steel	Complex Junction Well Detailed
Fascia :	Timber	Needs Some Attention
Spouting / Guttering :	Upvc Spouting	In Good Condition
Spouting / Guttering Comments :	Joints Need Attention	
Soffit / Eaves :	Hardies Sheet	Good
Skylight(s) :	No	Not Applicable
Borer - Roof Structure :	No Visible Signs	
Borer - Trims :	No Visible Signs	
Borer - Exterior Cladding :	No Visible Signs	
Borer - Sub Floor :	No Visible Signs	
Borer - Comments :	No Live Borer Sighted	
	<i>Borer can remain hidden inside timber for 4 years before emerging</i>	
Aerial/Dish :	Dish Sighted	

Limitations

- ☒ Roof inspected by ladder at the edge of the roof.
- ☒ The inspector is not required to and does not physically walk on roof surfaces in excess of a 3.6 metre's, roofs inaccessible by an 3.6 metre ladder, covered by moisture, moss, debris or frost, or of any type not intended to be walked on (e.g. slate, clay tile, concrete tile, aluminum, wood shingles, wood shakes, et al). The inspector is not required to determine or report the age or life expectancy of any roof coverings. Roofs that cannot be accessed directly by the inspector may have defects which are not visible from the ground or the roof's edge. This report neither addresses future leaks nor does it certify that the roof is leak-free.
- ☒ Roofing/material type comments are intended to provide a general description of materials used. Actual materials were not verified.
- ☒ Assessment of flashings is limited to readily accessible and visible sections only. Most roof leaks will occur at the flashings.
- ☐ Step flashing installation and material restricted by the use of sealant.
- ☒ Inspection of chimneys, flues and vents is limited to readily accessible and visible external conditions only. Generally, flues, liners and footings are not visible for inspection.
- ☒ Moisture problems may result in visible or concealed mold growth. Environmental Consultants can assist if this is a concern.
- ☒ Asbestos may be present in many building products and materials. Environmental Consultants can assist if this is a concern.
- ☐ The roofing inspection was limited by being too fragile to walk on. Typically, roofs covered in anything other than asphalt shingles should not be walked on as the covering is easily damaged.
- ☐ The roofing inspection was limited by slippery, wet conditions.
- ☐ The roofing inspection was limited due to installed solar panels.
- ☐ The roofing inspection was limited by another building.
- ☐ The roofing inspection was limited by trees.
- ☐ The roofing inspection was limited by height. Not easily accessible.
- ☐ The roofing inspection was limited by restricted or no access.
- ☐ The roofing inspection was limited by slope (more than 3.6 metres).
- ☐ Chimney inspection limited by inaccessibility of roof.
- ☐ Flashing inspection limited by inaccessibility of roof.

- ☐ Lichen noted will need treating or will damage roof over time
- ☐ Concrete tiles become porous over time and would need resealing to exterior or replacement
- ☐ Moisture noted to underside of concrete tiles, will need resealing to exterior or replacement

Roofing Observations

This portion of the inspection covers general exterior roofing component checkpoints of the subject property such as roof coverings (shingles, flashing, skylights, etc.), chimneys, solariums, and roof drainage systems, etc.

Checkpoint	Rating	Action	Comment
Slopes	S	N	Good fall noted to the roof areas
Valleys	S	N	Valley flashings are well fixed in place and are in good condition
Flat	NA	N	†
Porches	NA	N	†
Garage	S	N	The garage roof is in good overall condition
Flashings	S	N	All flashings are well fixed in place and are in good condition
Stack / Flue / Vent Flashings	S	N	Vent pipe work is well sealed at the roof junctions
Nail Heads	F	R	Older type lead head roof fixings noted, many have lifted away from the roof iron and will need attention. I would recommend up grading roof fixings with the newer type screw fixings
Chimney	S	N	Appears in good overall condition
Skylights	NA	N	†
Other	NA	N	
Spouting & Downpipes	F	R	The spouting is leaking at some junctions and will need attention. The down pipe at the front door area needs re-fixing at the spouting junction†

Rating: Y=Yes N=No S=Satisfactory F=Fair/Marginal P=Poor U=Unsatisfactory MG=Missing SP=Suspect SA=Safety Issue NA=Not Applicable NV=Not Visible / Unknown
 Action: N=None / Not Applicable I=Improve P=Provide / Install R=Repair / Replace C=Major Concern M=Monitor E=Further Evaluation

Comment

The roof appears in reasonable overall condition. The older type lead head nails have lifted in many areas and will need attention. Some lead heads have come away in areas noted. I would recommend up grading older type lead head nails, with newer screw type fixings. The ridge and valley flashings appear well fixed in place and are in good condition. The lower garage roof area appears in good order and is well detailed at the cladding junction. The garage roof shows moisture to the front framing and will need attention. The spouting is leaking in areas and will need attention. The downpipe needs reconnecting at the spouting junction noted at the front door area. The flue from the wood burner appears in good order.

Roofing Photographs



The roof does appear in reasonable overall condition



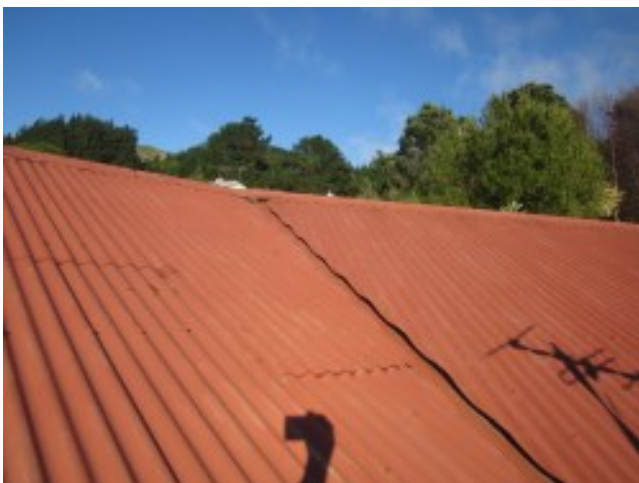
The roof is well fixed in place noted



Lead heads have come away in areas and will need attention



Many older roof fixings need re-sealing in place noted



The valley flashing is well fixed in place and in good order



Flue to wood burner appears in reasonable condition

Roofing Photographs



The odd roof fixing is leaking and will need attention



Recommend up grading older type lead head roof fixings



The ridge flashings appear in reasonable condition



Lower garage roof area appears in reasonable condition



The roof and cladding junction appears well detailed



Spouting is leaking at this junction, will need attention

Roofing Photographs



Lower spouting to the garage area is leaking and will need attention



Downpipe needs re-fixing to spouting at this junction



The spouting appears in good overall condition

Insulation / Ventilation General

Insulation is very important to all homes, during the time of the inspection the inspector will check that insulation has been installed in accessible visual areas only. Insulation can not be seen in the wall cavity areas, unless looked at invasively.

Adding insulation to a home should be considered an improvement rather than a repair.

Insulation / Ventilation Description And Limitations

Ceiling Space :	No Insulation	No Insulation Sighted But Recommended
Ceiling Space Over Garage :	Not Applicable	Not Applicable
Timber Frame Walls :	Not Visible	Not Able To Sight
Sub Floor Area :	No Insulation Noted But Recommended	

Limitations

- ☒ Moisture problems may result in visible or concealed mould growth. Environmental Consultants can assist if this is a concern.
- ☒ Asbestos may be present in many building products and materials. Environmental Consultants can assist if this is a concern.
- ☒ Continuity of air / vapour barrier not verified.
- ☒ Insulation in walls is not visible.
- ☐ Ceiling Space sighted from manhole, very limited access
- ☒ No access to wall space.
- ☐ No access to ceiling space noted - insulation not sighted
- ☐ No access to sub floor, insulation not sighted.

Insulation / Ventilation Observations

This portion of the inspection covers the visible insulation used in the ceiling space, wall areas (where accessible), and subfloor area only.

Checkpoint	Rating	Action	Comment
Ceiling Space Insulation	N	P	No insulation to the ceiling space noted, but recommended
Manhole Access	S	N	Manhole is located in the hall way area
Wall Insulation	NV	N	Unable to sight, but given the age of the home no insulation is assumed
Sub Floor Insulation	S	N	No insulation noted to the subfloor, but is highly recommended
Recessed Lights	S	N	Insulation should be kept clear of all recessed light fittings in the ceiling space area
Dryer Vent	U	I	The dryer is not vented to the exterior but is recommended
Bathroom Fan	F	I	The bathroom fans appear in good working order, but does need venting to the exterior noted
Kitchen Fan	S	N	The kitchen range hood appears in reasonable condition
Other	NA	N	

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 Action: N=None / Not Applicable I=Improve P=Provide / Install R=Repair / Replace C=Major Concern M=Monitor E=Further Evaluation

Comment

The ceiling space and subfloor areas show no insulation, but is highly recommended. There was no access to the exterior wall framing, given the age of the home, no insulation is assumed. The bathroom fan is in good working order, but does need venting to the exterior noted. The kitchen range hood appears in reasonable overall condition. There is no dryer vent to the laundry area, but is recommended. Please note it is very important to have the bathroom, kitchens and laundry areas well vented. Good insulation and ventilation is very important for a clean healthy home.

Insulation / Ventilation Photographs



No insulation to the ceiling space noted, but recommended



No insulation to the subfloor area, but is recommended



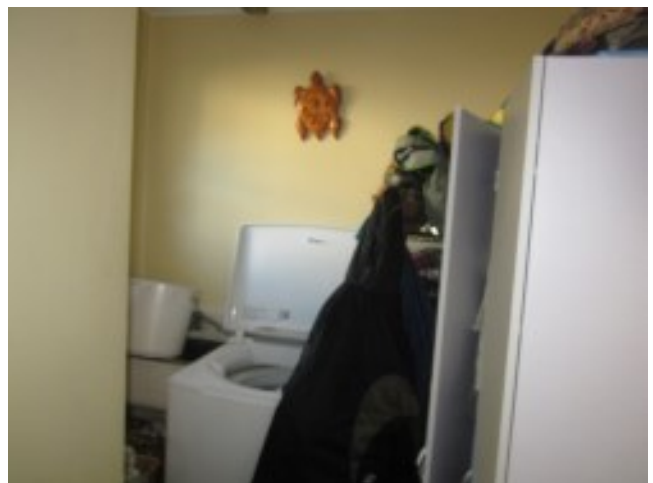
Bathroom fan needs venting to the exterior noted



Kitchen range hood appears in reasonable order



Recessed light fittings appear in good order



No dryer vent noted, but recommended

Exterior General

The inspection of this home's exterior system is carried out in conjunction with the NZS4306:2005 Residential Property Inspection Standard. According to the guidelines, the home inspector will inspect the exterior wall covering, flashing and trim; all exterior doors, attached decks, balconies, stoops, steps, porches, and their associated railings; the eaves, soffits, and fascias where accessible from ground level; the vegetation, grading, surface drainage, and retaining walls on the property when any of these are likely to be adversely affect the building; walkways, patios, and driveways leading to dwelling entrances. The inspector will describe the exterior wall covering.

The home inspector is not required to inspect screening, shutters, awnings, and similar seasonal accessories; fences; geological, geotechnical or hydrological conditions; recreational facilities; outbuildings; seawalls, break-walls, and docks; erosion control and earth stabilization measures.

See the NZS4306:2005 Residential Property Inspection Standard for more detail.

While every effort is made to find all areas of concern, some problems may go unnoticed. The inspection is not meant to be technically exhaustive. Please keep in mind that the inspector has your best interest at heart. Any repair items mentioned in this report should be considered before purchase. It is highly recommended that qualified contractors be used to further inspect or repair issues identified in this inspection report.

Gutters, downspouts, lot grading, window wells, walks, patios, driveways and landscaping all contribute to basement leakage. Basements can leak even if cracks are not visible. That being said, a basement, which is not leaking today, may leak at any time for any number of reasons. This inspection is not a guarantee that the basement will never leak.

Fascia and soffits are generally inaccessible and not fully visible. Often, this area is prone to concealed rot, insect and pest damage.

Exterior Description And Limitations

Cladding Type 1 :	Weather Boards	Average
Cladding Type 2 :	Weather Boards	Average
Cladding Type 3 :	Plywood	Average
Foundations :	Concrete Foundation And Piles	Requires Maintenance
Retaining Walls :	Timber	In Reasonable Condition
Garage :	Yes - Attached	In Average Condition
Carport :	No Carport Noted	Not Applicable
Decks :	Timber	Requires Maintenance

Limitations

- ☒ Moisture problems may result in visible or concealed mould growth. Environmental Consultants can assist if this is a concern.
- ☒ Asbestos may be present in many building products and materials. Environmental Consultants can assist if this is a concern.
- ☒ Lead may be present in exterior paint if the house was built prior to 1992, or in the soil. Testing for the presence of lead is not part of this inspection. Environmental Consultants can assist if this is a concern.
- ☒ Concealed moisture problems may not be detected as a result of this visual inspection. Unforeseen problems may arise at a later date as a result of concealed moisture.
- ☒ Exterior inspection from ground level.
- ☒ Fascia and soffits not fully accessible or visible. Inspection limited to visible, accessible areas only.
- ☐ Limited pool inspection. The objective of our limited visual pool inspection is to determine if the pool and related equipment may benefit from a more thorough inspection by a qualified pool specialist. The scope of our inspection includes a limited visual inspection of the pool electrical system, primary circulation system, pool barrier system, the pool interior surface and surrounding deck. We do not dismantle components such as filters, pumps and heaters. We do not test water chemistry. We do not test or operate pool heaters, cleaning systems, control valves, chemical injectors or similar components
- ☐ Restricted or no access under steps.
- ☐ Restricted or no access under decks.
- ☐ New finishes, paint and/or trim hide historical clues to condition of house.
- ☐ Vegetation (vines, shrubs, trees, etc) against the build restricted visual inspection.
- ☐ Storage against exterior wall(s). Visual inspection not possible.
- ☐ Exterior wall(s) inaccessible. Visual inspection not possible.
- ☐ No access to garage. Visual inspection not possible, or incomplete.
- ☐ Car in garage. Visual inspection not possible, or incomplete.
- ☒ Storage in garage. Visual inspection not possible, or incomplete.

Exterior Observations

This portion of the inspection covers general exterior checkpoints of the subject property structure such as wall claddings, entryway doors, decks, steps, eaves, driveways, windows, patios, pools/spas, lawns, landscape, retaining walls, etc.

Checkpoint	Rating	Action	Comment
Driveway	F	I	Gravel drive way area noted
Landscaping	S	N	The home is well developed and well maintained
Soffit / Fascia	S	N	All appear in reasonable order with minor maintenance required in areas noted
Doors	F	I	All appear in reasonable overall condition. The door frames need maintenance and re-painting. The trim around the front door is poorly fitted and will need attention. The glass in the front door is cracked and will need attention
Windows	U	I	All exterior window frames, trim and sills require maintenance and re-painting. Many window and cladding junctions need re-sealing.
Cladding	U	R	The cladding appears in average overall condition and does need maintenance in many areas noted. The exterior weather board junctions need re-sealing. There is rot noted to areas of the weather board, which will need attention. Many weather board junctions need re-sealing. The lower base cladding is showing wear in areas and will need attention.
Foundation Walls	U	I	All appear in reasonable overall condition, but have been under mined in areas and will need attention. Many concrete foundation piles have also been under mined and will need supporting in this area noted.
Decks	F	I	The newer timber deck area appears in good condition, with the deck rail well fixed in place. I would recommend bowmac type bracket and fixings be installed to the support post and deck joists area. The rear timber deck is showing wear in areas and will need attention
Stairs	S	N	Exterior steps appear in good order
Garage / Carport	F	I	The exterior cladding to the garage area appears in average condition and will need attention
Retaining Walls	F	P	Retaining walls all appear in reasonable overall condition. There is seepage noted to the lower retaining wall and will need attention. The foot path to the cloths line area needs retaining at the lower edge noted
Swimming Pool / Spa	NA	N	
Other	NA	N	

Rating: Y=Yes N=No S=Satisfactory F=Fair/Marginal P=Poor U=Unsatisfactory MG=Missing SP=Suspect SA=Safety Issue NA=Not Applicable NV=Not Visible / Unknown
 Action: N=None / Not Applicable I=Improve P=Provide / Install R=Repair / Replace C=Major Concern M=Monitor E=Further Evaluation

Comment

The exterior of the home appears in average overall condition. The cladding requires maintenance in many areas noted. many weather board junctions need re-sealing. I would recommend boxed corners be installed to all exterior weather board junctions. Many window and cladding junctions need re-sealing. There is rot noted to areas of weather board, that will need attention. The timber trim around the front door is poorly fitted and will need attention. The main deck area is in good condition with the hand rail well fixed in place. The rear deck area requires maintenance in areas noted. The lower garage framing has twisted and the doors want close, this will need attention. The exterior needs re-painting from top to bottom noted. The grounds appear in reasonable condition. The retaining wall to the lower area is showing seepage and will need attention. the foot path to the clothes line area needs retaining. I would recommend having the exterior works quoted, so all costs are known and an informed decision can be made.

Exterior Photographs



The exterior cladding requires maintenance in many areas noted



Many external cladding junctions need re-sealing



The odd window and cladding junction needs re-sealing



Many cladding junctions need re-sealing and re-painting



The exterior needs sanding back and re-painting



All exterior window frames require maintenance and re-painting

Exterior Photographs



Trim around front door is poorly finished, needs attention



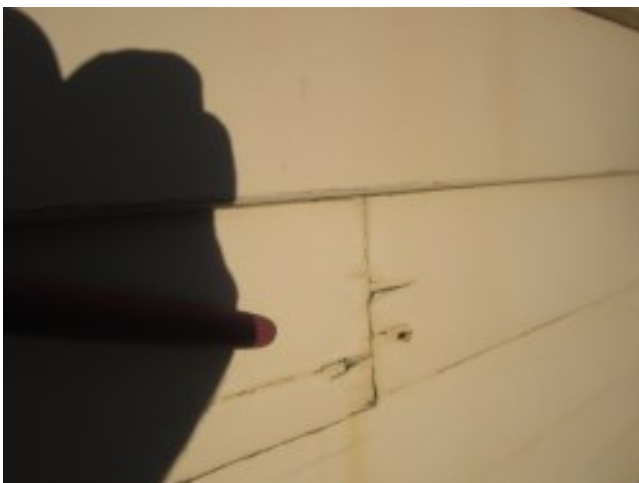
Trim is poorly sealed and will need attention



Lower door sill needs re-painting



Weather boards show rot in places and will need attention



Cladding junctions need re-sealing in many areas



External weather board junctions need re-sealing

Exterior Photographs



Paint has come away in many areas, will need attention



Recommend boxed corners be installed to external junctions



Rot noted to some weather boards will need attention



All exterior window frames need re-painting



Many weather board junctions need re-sealing noted



Window frames need maintenance and re-painting

Exterior Photographs



Paint wear to many areas of cladding noted, will need attention



Lower door sill is showing wear, will need attention



Rusted fixings noted to many windows, will need attention



Lower bay windows is poorly finished, will need attention



Timber trim needs re-sealing in areas noted



Soffit and cladding junctions appear well sealed

Exterior Photographs



Weather board junctions need re-sealing in many areas



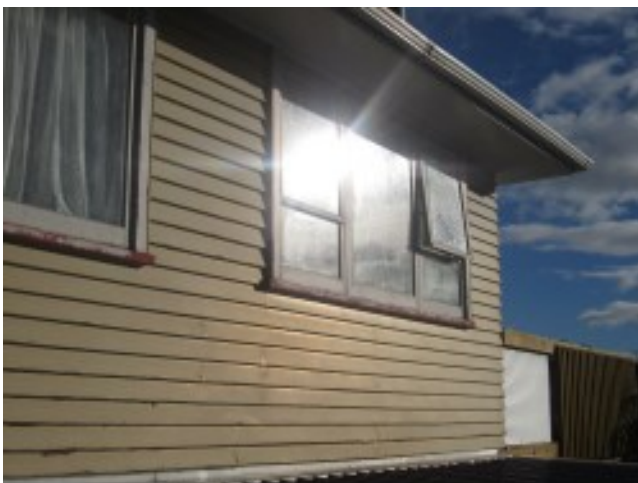
Weather board junctions need re-sealing at this junction



Lower base cladding appears in reasonable order



Rot to weather board noted, will need attention



Paint wear noted to all areas of weather board, needs re-painting



The garage extension is not done to tradesman like manner

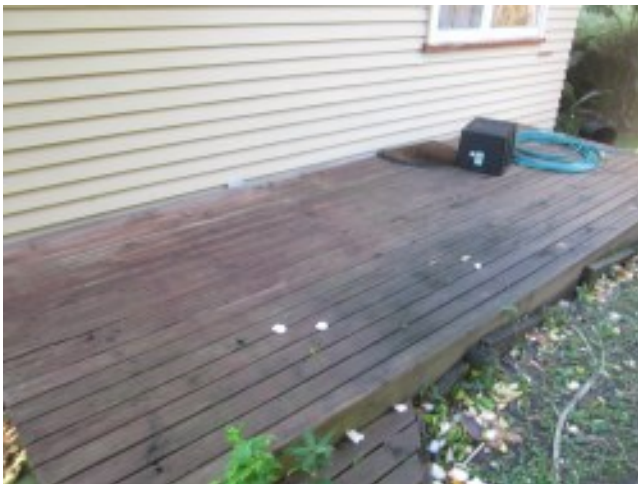
Exterior Photographs



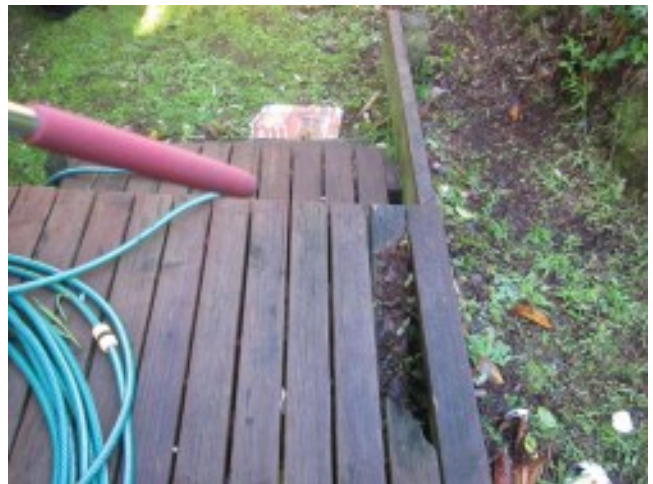
The timber deck area appears in good order



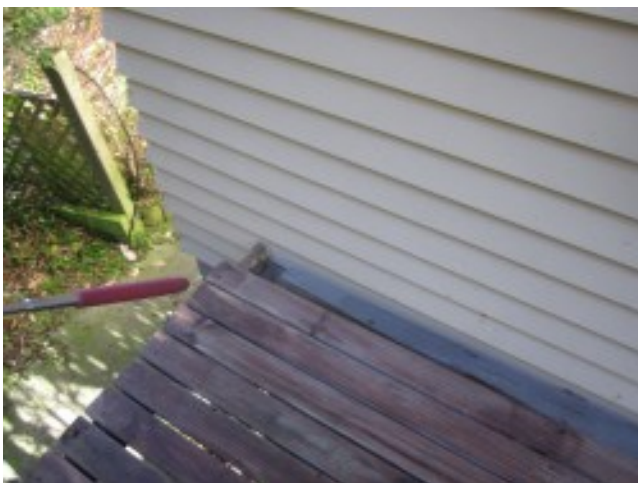
The deck rail is well fixed in place and in good order



Rear deck area requires maintenance in areas



Decking needs attention in areas noted



decking to cladding junction needs attention



Recommend deck rail to high side of the deck

Exterior Photographs



Lower retaining wall shows seepage, will need attention



Bank will need retaining under rear footpath area



The grounds appear well developed and well maintained



Large hole noted to lower base cladding noted



Exterior cladding junctions need attention in many areas noted



Under side of newer deck area is in good condition

Exterior Photographs



Recommend bowmac bracket and bolts to posts and deck joists junctions. Garage doors don't shut as framing has twisted, needs attention



Gravel drive way area noted, appears in reasonable order

Structure General

The inspection of the structural system is in conjunction with the NZS 4306:2005 Residential Property Inspection Standard guidelines. According to the guidelines, the home inspector will inspect the structural components including foundation and framing by probing a representative number of structural components where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not required when probing would damage any finished surface or where no deterioration is visible. The inspector will describe the foundation and report the methods used to inspect the under-floor crawl space, if applicable, the floor structure, the wall-structure, the ceiling structure and the roof structure. The inspector will also report the methods used to inspect the ceiling space.

The home inspector is not required to provide any engineering service or architectural service, or offer an opinion as to the adequacy of any structural system or component.

See the NZS 4306:2005 Residential Property Inspection Standard for more detail.

While every effort is made to find all areas of concern, some problems may go unnoticed. The inspection is not meant to be technically exhaustive. Please keep in mind that the inspector has your best interest at heart. Any repair items mentioned in this report should be considered before purchase. It is highly recommended that qualified contractors be used to further inspect or repair issues identified in this inspection report.

Gutters, downspouts, sub floor, walkways, patios, driveways and landscaping all contribute to basement leakage. Basements can leak even if cracks are not visible. That being said, a basement, which is not leaking today, may leak at any time for any number of reasons. This inspection is not a guarantee that the basement will never leak.

Structure Description and Limitations

Foundation :	Concrete Foundation And Piles	Requires Maintenance
Floor Construction :	Timber	In General Good Condition
Exterior Wall Construction 1 :	Timber Frame	In Reasonable Condition
Exterior Wall Construction 2 :	Timber Frame	In Reasonable Condition
Roof / Ceiling / Framing Type :	Pitched Roof	In Good Condition

Limitations

- ☒ The attic was inspected by entering the area.
- ☒ The crawlspace was inspected by entering the area.
- ☒ Moisture problems may result in visible or concealed mould growth. Environmental Consultants can assist if this is a concern.
- ☒ Asbestos may be present in many building products and materials. Environmental Consultants can assist if this is a concern.
- ☒ Finishes, insulation and/or storage, at the time of the inspection, conceal structural components which may, or may not, have defects.
- ☒ There may be defects hidden behind the finished walls or insulation which are not visible at the time of inspection.
- ☒ Foundation inspection limited to visible and accessible areas only.
- ☒ Structural inspection limited to visible and accessible areas of the foundation only, as per inspection package or client request.
- ☐ The roof space was not inspected due to limited or no access visible at the time of inspection.
- ☐ The knee-wall space was not inspected due to limited or no access visible at the time of inspection.
- ☐ The foundation is a slab-on-grade configuration. It is not possible to inspect under this type of foundation during a normal home inspection.

Structure Observations

This portion of the inspection covers general structural component checkpoints of the subject property such as foundation, floors, walls, columns, ceilings, roof (rafters / trusses), basement/subfloor, etc.

Checkpoint	Rating	Action	Comment
Footings	U	I	The footing has been under mined in areas and will need attention
Foundation	U	C	The concrete piles and foundation wall have been under mined in areas and will need, re-supporting. This is not ideal as in an earthquake these piles could fail.
Sills	F	I	All appear in average order and will need attention
Beams	S	N	Beams appear well fixed in place and are in good condition
Joists	S	N	Bearers and floor joists are in good condition
Sub Floor	F	I	The subfloor area appears dry and in reasonable order, the foundations need attention in areas noted
Floors	S	N	All floors appear in good overall condition
Walls	S	N	All walls appear straight and in good order, the cladding does require maintenance in areas noted
Roofs	S	N	The roof framing appears dry and in good condition
Chimneys	S	N	The chimney appears in good order
Lintels	S	N	Unable to sight
Vermin / Insects	N	N	
Other	NA	N	

Rating: Y=Yes N=No S=Satisfactory F=Fair/Marginal P=Poor U=Unsatisfactory MG=Missing SP=Suspect SA=Safety Issue NA=Not Applicable NV=Not Visible / Unknown
 Action: N=None / Not Applicable I=Improve P=Provide / Install R=Repair / Replace C=Major Concern M=Monitor E=Further Evaluation

Comment

The roof framing is dry and is in good overall condition. The odd roof fixing is leaking at the roof junction and will need attention. There was no access to the exterior wall framing, so could not be sighted. All exterior walls do appear straight. The subfloor concrete pile foundations have been under mined in areas and will need attention. The exterior concrete ring foundation has also been under mined also, which is not ideal and will need attention. All concrete piles should have the surrounding dirt from the bottom edge of the pipe 1500mm out and up on a 45 degree angle. These piles will need re-supporting noted. There is moisture getting into the lower foundation at the rear garage area and will also need attention. The garage slab has been poured by a handy man noted and is not done to a tradesmen like manner. The framing to the front garage extension is the wrong size and will need attention. The garage doors want shut all the way home because of this, and will need attention.

Structure Photographs



The roof framing appears dry and is in good order



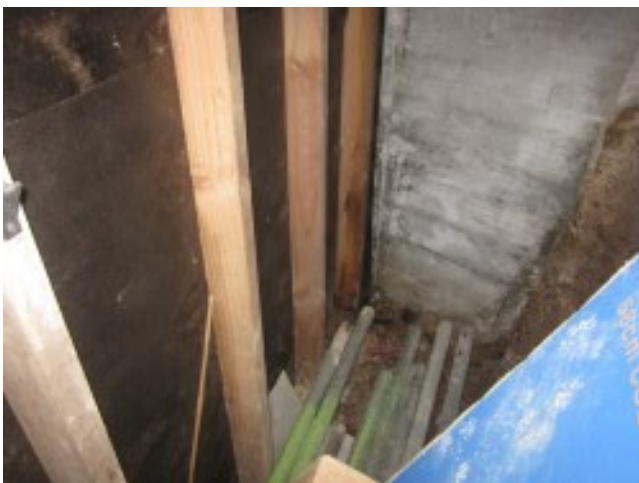
Concrete piles have been under mined, will need attention



Central row of piles appear in good condition



Hot water cylinder is leaking to the subfloor, will need up grading



Moisture noted to lower foundation area, will need attention



The concrete ring foundation has been under mined, needs attention

Structure Photographs



Bank has been cut to close to lower pile, will need attention



Bearers and floor joists appear in good condition



Ground level has been dug away from lower pile, will need attention



Framing to front of garage requires re-work



Exterior concrete ring foundation appears in good order

Heating General

The inspection of the heating system is in conjunction with the NZS4306:2005 Residential Property Inspection Standard guidelines. According to the guidelines, the home inspector will inspect the installed heating equipment, the vent systems, flues and chimneys where readily accessible. The inspector will describe the energy source and the heating method by its distinguishing characteristics, fireplaces and other solid fuel burning appliances. Where accessible, the inspector will inspect normal operating controls, and the heat distribution systems including fans, pumps, ducts, piping, supports, insulation, air filters, registers, radiators, fan coil units, convectors, and heat sources installed in each room.

The home inspector shall operate the systems using normal operating controls. Safety controls, whether automatic or manual, are not tested because these controls are rarely used by the homeowner (other than in an emergency) and activating these safety controls could damage the controls or equipment. The inspector will open readily accessible panels provided by the equipment manufacturer or installer for routine maintenance by the homeowner.

The home inspector is not required to inspect the interiors of flues or chimneys which are not readily accessible, the heat exchanger, the humidifier or dehumidifier, the electronic air filter, solar space heating system, fire screens and doors, seals and gaskets, automatic fuel feed devices, mantles and fireplace surrounds, combustion make-up air devices, or heat distribution assists whether gravity controlled or fan assisted. The inspector is not required to determine the heat supply adequacy or distribution balance. The inspector will not operate heating systems when weather conditions or other circumstances may cause equipment damage. The inspector will not ignite or extinguish solid fuel fires, determine draft characteristics or move fireplace inserts or stoves or firebox contents.

See the NZS4306:2005 Residential Property Inspection Standard for more detail.

While every effort is made to find all areas of concern, some problems may go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve the removal and inspection behind service doors or dismantling that would otherwise reveal problems only a licensed heating contractor would find. Please keep in mind that the inspector has your best interest at heart. Any repair items mentioned in this report should be considered before purchase. It is highly recommended that qualified contractors (service technicians) be used to further inspect or repair issues identified in this inspection report.

As a general rule, the furnace should be serviced as soon as you take possession of a new home. Chimneys should be inspected annually and cleaned, if necessary. Annual service contracts are highly recommended.

It is highly recommended that both wood-burning and gas fireplaces, and chimneys, be inspected annually.

As with any mechanical component, heating systems can fail at any time without warning.

Heating Description and Limitations

Main Energy Source :	Electricity	
Other Energy Source :	Not Applicable	
Heating System(s) :	Wood Burner	Not Applicable
Chimney Liner :	Metal	
All Rooms Heated :	No	
Main Fuel Shutoff :	Outside	
Fireplace :	Wood Burner	

Limitations

- ☒ Moisture problems may result in visible or concealed mould growth. Environmental Consultants can assist if this is a concern.
- ☒ Asbestos may be present in many building products and materials. Environmental Consultants can assist if this is a concern.
- ☒ Buried tanks are not included in the inspection. Environmental Consultants can assist if this is a concern.
- ☐ Complete heat exchanger is not visible or inaccessible. At most, only 10% of the heat exchanger is visible through visual inspection. There may be problems with the heat exchanger that are not apparent with this inspection.
- ☐ Radiator / Zone Values Not Tested
- ☒ Heat loss calculation are not done as part of the home inspection. this calculations are usually done prior to construction in order to determine the required capacity of the heating system. There are specialists available if this is a concern.
- ☒ Safety controls, whether automatic or manual, are not tested because these controls are rarely used by the homeowner (other than in an emergency) and activating these safety controls could damage the controls or equipment. These controls should be tested during annual servicing.
- ☒ Quality of chimney draw cannot be determined.
- ☐ The system has been shut off or is otherwise inoperative. As turning the system on could result in an unsafe situation, the appliance(s) will not be able to be tested.
- ☐ Heat pump noted

Heating Observations

This portion of the inspection covers general HVAC checkpoints of the subject property such as permanently installed heating system and its controls, chimneys, heat distribution system, including fans, pumps, and ducts, and automatic safety controls.

Checkpoint	Rating	Action	Comment
Gas Meter	NA	N	
Gas Piping	NA	N	†
Clearances	NA	N	†
Boiler	NA	N	†
Electric Heating	U	R	Older type low pressure hot water cylinder noted, the unit is leaking and will need up grading.
Radiators	NA	N	
Underfloor Heating	NA	N	
Heat Pump	NA	N	†
Gas Wall Heater	NA	N	
Gas Walled Heater Flued	NA	N	
Gas Imitation Open Flame	NA	N	†
Electric Wall Heater	F	I	Heated towel rails noted, does require maintenance
Wood Burner	S	N	The wood burner appears in reasonable condition, but recommend having the unit checked and cleaned before use
Gas Central Heating	NA	N	†

Rating: Y=Yes N=No S=Satisfactory F=Fair/Marginal P=Poor U=Unsatisfactory MG=Missing SP=Suspect SA=Safety Issue NA=Not Applicable NV=Not Visible / Unknown
 Action: N=None / Not Applicable I=Improve P=Provide / Install R=Repair / Replace C=Major Concern M=Monitor E=Further Evaluation

Comment

There is a wood burner noted to the lounge area and appears in reasonable condition. t5he heated towel rail to the bathroom needs re-fixing at thye wall junction noted. The older type low pressure hot water cylinder is leaking and will need up grading. There were no other heating systems noted at the time of the inspection.

Heating Photographs



Heated towel rail appears in reasonable condition



Towel rail bracket needs re-fixing at the wall junction



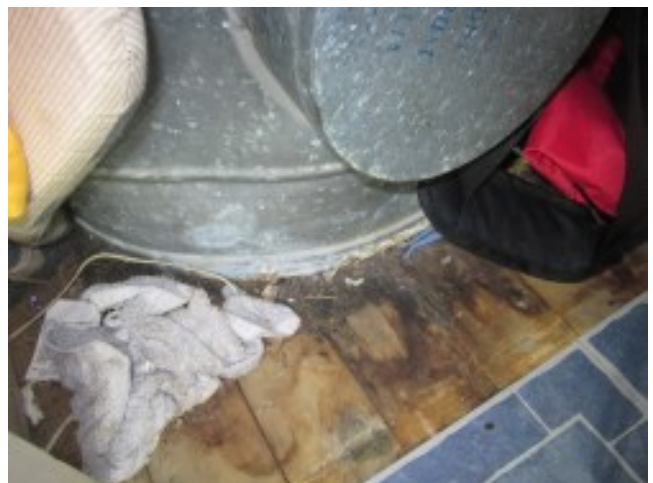
Wood burner noted appears in reasonable condition



Cracked tiles noted to lower wood burner area



Older low pressure hot water cylinder is leaking, needs attention



Cylinder is leaking, will need up grading

Heating Photographs



Cylinder is leaking into the subfloor area, will need replacing

Electrical General

The inspection of the electrical system in conjunction with the NZS 4306:2005 Residential Property Inspection Standard guidelines. According to the guidelines, we take an overview only of the visual components of the electrical system. The meter board/s and sub boards are checked for overall condition only.

The inspector will open readily accessible panels provided by the equipment manufacturer or installer for routine maintenance by the homeowner.

The home inspector is not required to inspect the remote control devices unless the device is the only control device, the alarm systems and components, the low voltage wiring, systems and components, the ancillary wiring, systems and components not part of the primary electrical power distribution system. The home inspector is not required to measure amperage, voltage, or impedance.

See the in conjunction with the NZS 4306:2005 residential property inspection standard. for more detail.

While every effort is made to find all areas of concern, some problems may go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve the removal and inspection behind service doors or dismantling that would otherwise reveal problems only a licensed electrician would find. The inspection may not identify old, outdated, defective or dangerous wiring hidden behind walls. It is highly recommended that qualified electricians be used to further inspect or repair issues identified in this inspection report.

All recommendations are safety issues and high priority.

Electrical Description and Limitations

Power source :	Overhead	
Metre Box :		Fuses
Meter Box Location :	Outside Wall	
Switchboard :		Circuit Breakers
Smoke Detectors :	Only Noted To Some Rooms Smoke Detectors Be Installed Throughout The Home	

Limitations

- ☒ Moisture problems may result in visible or concealed mould growth. Environmental Consultants can assist if this is a concern.
- ☒ Asbestos may be present in many building products and materials. Environmental Consultants can assist if this is a concern.
- ☒ The fuse block(s) were not pulled.
- ☒ Concealed electrical components are not inspected.
- ☐ The power was turned off throughout the house. Electrical tests could not be performed and equipment / appliances requiring electricity could not be operated.
- ☐ The power was turned off in some areas of the house. Electrical tests could not be performed and equipment / appliances requiring electricity could not be operated.
- ☐ Access to the power service panel / main disconnect was restricted.
- ☐ The service panel / main disconnect was not accessible.
- ☒ The system ground was not visible or was inaccessible.
- ☒ The main disconnect cover was not removed.
- ☐ Service size could not be determined. Service wires could not be sized and fuse ratings (if applicable) could not be read.
- ☐ The service box was locked by the utility. Box cannot be opened without shutting off the power or breaking the lock. Service size cannot be determined.

Electrical Observations

This portion of the inspection covers general electrical checkpoints of the subject property such as service entrance conductors, service equipment, main distribution panels, voltage ratings, a representative number of installed ceiling fans, lighting fixtures, switches and receptacles, ground fault circuit interrupters, smoke detectors, etc.

Checkpoint	Rating	Action	Comment
Switchboard	S	N	The switch board appears in reasonable order
Meter Box	F	I	The meter board is in reasonable condition, the meter cover is showing surface rust and will need attention.
Fuses / Breakers	F	I	I would recommend up grading older type fuses with the newer braker type units
Exterior Lights	S	N	All light fittings appear in reasonable condition
Outlets	S	N	All outlets appear in good order
Ceiling Fan	F	I	All bathroom fans appear in good working order, but does need venting to the exterior noted
Switches	F	I	All appear in reasonable condition, the odd switch needs re-fixing at the wall junction noted.
Cover Plates	S	N	All appear in reasonable condition
Other	NA	N	
Garage Door Opener	NA	N	†
Dish Washer	NA	N	†

Rating: Y=Yes N=No S=Satisfactory F=Fair/Marginal P=Poor U=Unsatisfactory MG=Missing SP=Suspect SA=Safety Issue NA=Not Applicable NV=Not Visible / Unknown
 Action: N=None / Not Applicable I=Improve P=Provide / Install R=Repair / Replace C=Major Concern M=Monitor E=Further Evaluation

Comment

The meter and switch boards appear in reasonable overall condition. I would recommend up grading older type fuses, with the newer braker type. The meter box cover is showing surface rust and will need attention. All exterior light fittings appear in good condition. The bathroom fan is in good working order, but does need venting to the exterior. The kitchen range hood is in reasonable condition. †All interior switches and light fittings appear in reasonable condition. The odd switch needs re-fixing at the wall junction noted. Heated towel rails noted but does need re-fixing at the wall junction. Overall the electrical system appears in reasonable condition. No major concerns were noted at the time of the inspection.

Electrical Photographs



Meter and switch board appears in reasonable condition



Recommend up grading older type fuses



Meter cover shows rust, will need attention



Alarm system noted, but not tested



Bathroom fan appears in good working order



Smoke alarms noted, but not tested

Electrical Photographs



Interior light fittings appear in reasonable condition



The odd switch needs re-fixing at the wall junction



The odd switch needs re-fixing at the wall junction



Exterior light fittings appear in reasonable condition

Plumbing General

The inspection of the plumbing system is in conjunction with the NZS 4306:2005 Residential Property Inspection Standard guidelines. According to the guidelines, the home inspector will inspect the interior water supply and distribution systems including all fixtures and faucets, the drain, waste and vent systems, the water heating equipment, the flues and chimneys where applicable, the fuel storage and fuel distribution systems where applicable, and the drainage sumps, sump pump and related piping. The inspector will describe the water supply, drain, waste and vent piping materials, the water heating equipment including the energy source, and the location of the main water and fuel shut-off valves.

The home inspector shall operate the systems using normal operating controls. Safety and shut-off controls (ie: valves), whether automatic or manual, are not tested because these controls are rarely used by the homeowner (other than in an emergency) and activating these safety controls could damage the controls or equipment (usually by leaking). The inspector will open readily accessible panels provided by the equipment manufacturer or installer for routine maintenance by the homeowner.

The home inspector is not required to inspect the interiors of flues or chimneys which are not readily accessible, the clothes washing machine connections, wells, well pumps, or water storage related equipment, water conditioning systems, solar water heating systems, fire or lawn sprinkler systems, or private waste disposal systems (ie: septic tank). The inspector is not required to determine whether water supply and waste disposal systems are public or private, or the quantity or quality of the water supply.

See the NZS 4306:2005 Residential Property Inspection Standard for more detail.

Plumbing Description and Limitations

Water Main :	Not Visible	Unable To Sight
Internal Water pipe :	Copper	In Reasonable Condition
Main Shut Off Valve :	At Front Of Property	
Water Flow (Pressure) :	Functional	
Hot Water Cylinder :	Electric	Low Pressure Electric
Hot Water Cylinder Age :	More Than 20 Years	
Hot Water Cylinder Capacity :	Typical	
Waste Piping :	Plastic	Pipe Work Needs Supporting In Areas.
Vent Piping :	Plastic	Unable To Sight
Sump Pump :	No	
Laundry Tub Pump :	No	
Solid Waste Pump :	No	Not Applicable

Limitations

- ☒ Due to typical construction constraints, evaluation of plumbing components is limited to readily accessible, visible areas. Neither the condition nor flow can be evaluated through underground or covered water or sewer/waste lines. Old sewer lines are prone to blockage.
- ☒ Moisture problems may result in visible or concealed mold growth. Environmental Consultants can assist if this is a concern.
- ☒ Asbestos may be present in many building products and materials. Environmental Consultants can assist if this is a concern.
- ☐ Septic system not inspected
- ☒ Tub / sink overflows not tested.
- ☒ Water treatment equipment not tested or inspected.
- ☒ Concealed plumbing not inspected.
- ☒ Isolating / relief valves not tested.
- ☒ Main shut off valve not tested.
- ☐ Main valve not located
- ☐ Gas shut off
- ☒ Unable to sight Drainage pipe work

Plumbing Observations

This portion of the inspection covers general plumbing checkpoints of the subject property such as interior water supply and distribution system, interior waste drains and vent system, hot water system, and distribution system, and sump pump.

Checkpoint	Rating	Action	Comment
Water Mains	NV	N	Unable to sight
Main Shut Off	S	N	Located at the front of the property noted.
Internal Piping	S	N	All appears in good overall condition
Water Heater	U	R	Electric hot water cylinder noted, the older cylinder is leaking and will need up grading.
Gas Piping	NA	N	†
Waste Piping	S	N	All appears in reasonable order
Floor Drains	NA	N	
Venting	S	N	All vent pipe work appears in good order
Sump Pump	N	N	
Other Pumps	NA	N	
Taps	S	N	All tap ware appears in reasonable condition, but will require maintenance from time to time
Sinks / Basin	F	I	All appear in reasonable condition, the vanity shows water damage in areas noted
Exterior Hose Taps	Y	N	All exterior hose taps appear in good working order
Toilet	U	R	The toilet needs re-fixing and re-sealing at the floor junction noted
Bathtub	F	N	Appears in reasonable condition, showing normal wear for its age
Shower Stall	U	R	Shower over the bath noted. There is high moisture readings to the shower wall areas and will need attention. The wall tiles need re-sealing in many areas noted. The bath taps are poorly sealed at the wall junctions and will need attention. the window sill in the shower area is showing wear and will need attention. The window sill should be protected, when the shower is in use noted.
Bidet	NA	N	
Laundry Tub	F	I	Older type tub noted appears in reasonable order. I would recommend a seperate washing machine waste to this area.
Mould / Mildew	N	N	

Rating: Y=Yes N=No S=Satisfactory F=Fair/Marginal P=Poor U=Unsatisfactory MG=Missing SP=Suspect SA=Safety Issue NA=Not Applicable NV=Not Visible / Unknown
 Action: N=None / Not Applicable I=Improve P=Provide / Install R=Repair / Replace C=Major Concern M=Monitor E=Further Evaluation

Comment

The bathroom appears in reasonable condition. The tiled wall areas around the shower over the bath area are showing high moisture and will need attention. The window frame and sill is also showing wear in this area and will need attention. The wall tiles need re-grouting in areas. The window frame and wall should be protected when the shower is in use noted. The vanity shows water damage in areas noted. The toilet needs re-fixing and sealing at the floor junction noted. The kitchen is in reasonable overall condition. the laundry area appears in reasonable condition. There is a high moisture reading to the toilet lower exterior wall, this will need attention. The older type low pressure hot water cylinder is leaking and will need up grading. The waste pipes in the subfloor area need supporting. The laundry tap is leaking and will need attention. The door handle to the toilet area needs replacing.

Plumbing Photographs



The bathroom area appears in reasonable order



Heated towel rail needs re-fixing at the wall junction



Mould noted to silicone, will need attention



Door handle to vanity needs replacing

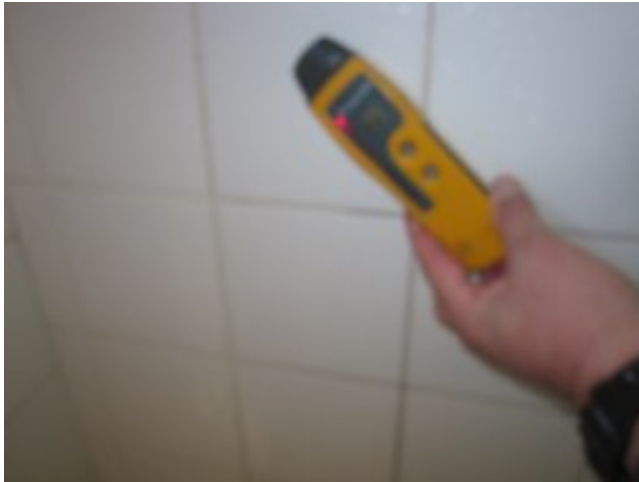


Lower vanity shows water damage noted



High moisture reading to shower wall, will need attention

Plumbing Photographs



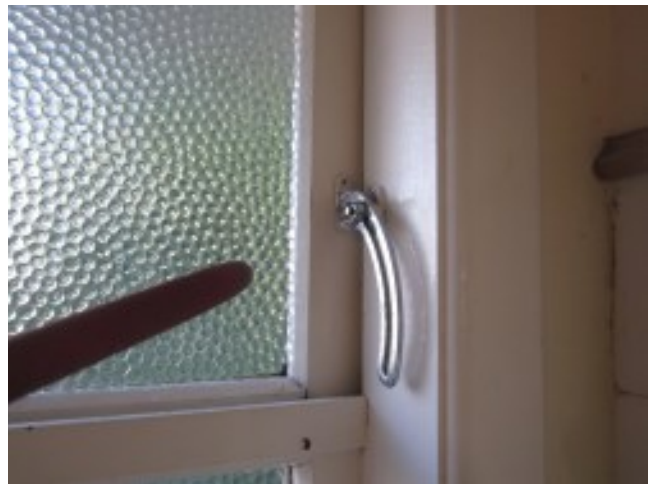
High moisture readings to shower wall, needs attention



Tile need re-grouting in areas noted



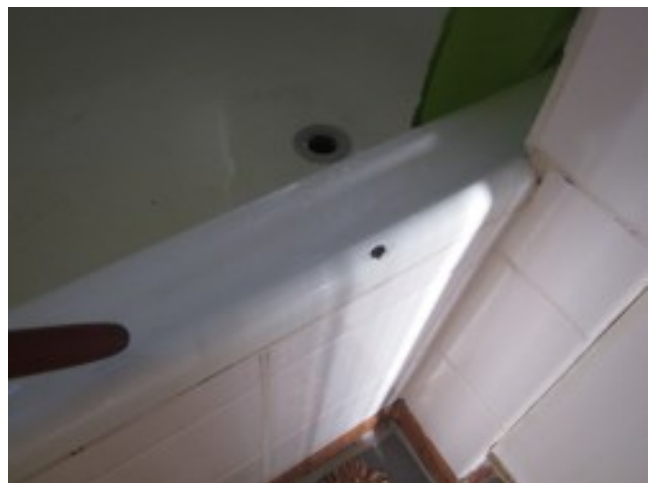
Moisture damage to window frame and wall, needs attention



The window needs easing, very common for timber joinery



Bath taps are poorly sealed at the wall junction, needs attention



Minor wear noted to the bath in areas noted

Plumbing Photographs



Window sill should be protected, when shower is in use



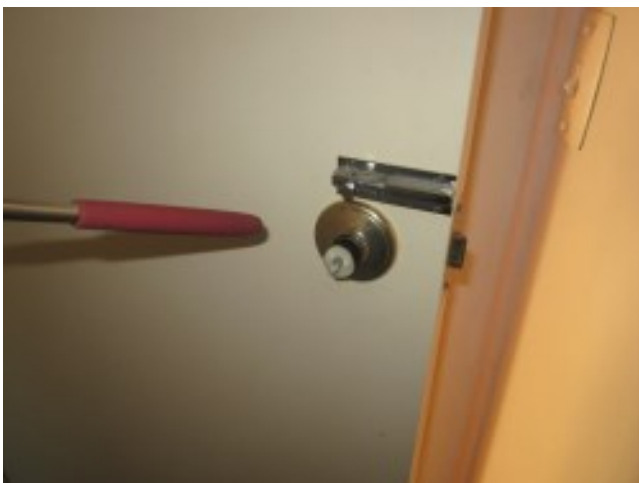
The toilet area appears in reasonable order



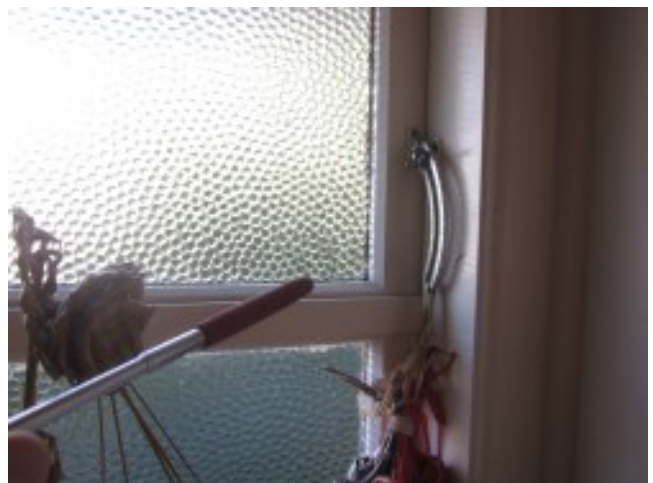
Toilet pan needs re-fixing and re-sealing at the cladding junction



High moisture reading to lower exterior wall, needs attention



Door handle needs re-placing noted

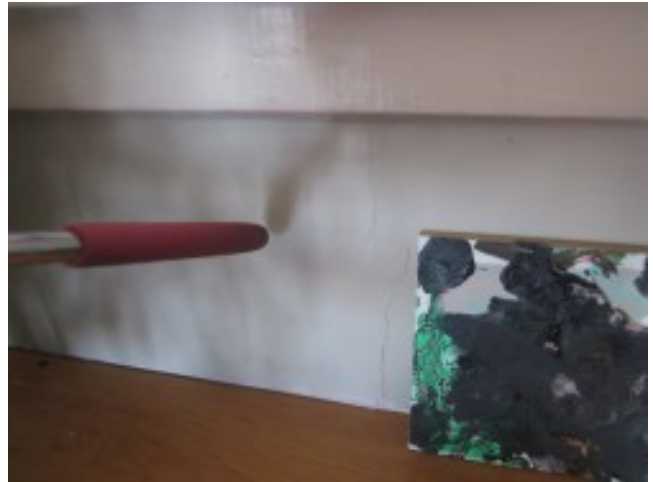


Window needs easing, very common for timber joinery

Plumbing Photographs



The kitchen appears is reasonable condition



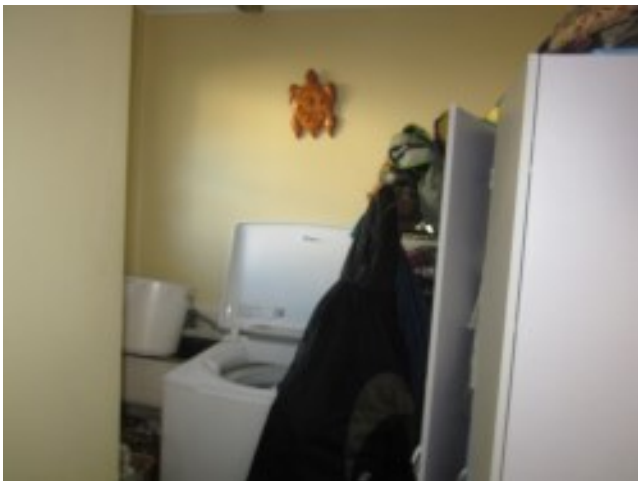
Movement cracking noted, very common to most homes



Wear noted to the vinyl in areas



The kitchen joinery appears in good condition



The laundry appears in reasonable condition



Moisture fluctuations to exterior walls appear normal

Plumbing Photographs



Recommend separate washing machine waste to tub area



No door noted to the laundry area



Older hot water cylinder is leaking, will need up grading



Cylinder is leaking to the subfloor, needs up grading



Waste pipes need supporting in the subfloor area



Tub tap is leaking, will need attention

Plumbing Photographs



Movement cracking noted, very common to most homes

Interior General

The inspection of the interior of this home is in conjunction with the NZS 4306:2005 Residential Property Inspection Standard guidelines. According to the guidelines, the home inspector will inspect the walls, ceilings and floors; the steps, stairways and railings; the countertops and a representative number of installed cabinets; a representative number of doors and windows; the garage doors and garage door operators.

The home inspector is not required to inspect the paint, wallpaper and other finish treatments; the carpeting; the window treatments; the central vacuum systems; the household appliances, any recreational facilities.

See the NZS 4306:2005 Residential Property Inspection Standard for more detail.

As a general rule, new smoke detectors should be installed and tested upon moving into a new home. Replace them at least every five years, unless the manufacturer specifies a shorter or longer lifespan.

Interior Description and Limitations

Floor Finishes :	Tiles And Carpet	Carpet Showing Wear, Will Need Attention
Wall Finishes :	Painted Plaster Board	In Reasonable Condition
Ceiling Finishes :	Painted Pinex	In Reasonable Condition
Windows :	Painted Timber	Window Hardware Needs Attention
Internal Doors :	Hollow Core	Doors Sticking, Need Easing
Fireplaces :	Wood Burner	In Reasonable Condition
Party Walls :	Not Applicable	Not Applicable

Limitations

- ☒ Moisture problems may result in visible or concealed mould growth. Environmental Consultants can assist if this is a concern.
- ☒ Asbestos may be present in many building products and materials. Environmental Consultants can assist if this is a concern.
- ☒ Lead may be present in interior paint if the house was built prior to 1978. Testing for the presence of lead paint is not part of this inspection. Environmental Consultants can assist if this is a concern.
- ☒ Storage / furnishings in some areas limited inspection.
- ☒ No comments / recommendations made with respect to cosmetic finishes.
- ☒ Recreational facilities, such as spas, saunas, steam baths, pools, tennis courts, or exercise / entertainment equipment, is not inspected.
- ☒ Security systems, including smoke detectors, were sighted but not tested.
- ☐ Central vacuums noted.
- ☒ Chimney flues not inspected.
- ☐ Elevators not inspected.
- ☐ Absence of historical clues due to new paint / finishes.

Interior Observations

The interior portion of the inspection covers checkpoints involving the interior walls, ceilings, floors, steps, cabinets, doors, and windows.

Checkpoint	Rating	Action	Comment
Floors	F	R	All flooring appears in reasonable order, showing normal wear and tear. The carpet shows heavy wear in areas and will need attention at some stage
Walls	F	I	All internal walls appear in reasonable order, showing paint wear in areas noted
Ceiling	S	N	The ceiling areas appear in good overall condition, have been patched in areas noted
Trim	F	I	All trim appears in reasonable overall condition, requiring maintenance in areas
Counters / Cabinets	S	N	All appear in reasonable condition, the vanity is showing moisture damage in areas noted
Stairs	NA	N	†
Railings	NA	N	†
Windows	F	I	All windows appear in reasonable condition. The odd window requires maintenance and some window hardware needs attention
Doors	F	I	All internal doors appear in reasonable condition. The odd door does need easing and the door handle to the toilet area needs replacing
Skylight	NA	N	
Appliances	S	N	All units appear in reasonable order
Smoke Detectors	S	N	Recommend testing smoke detectors upon moving in. Replace or install defective or missing units.
Fireplace	NA	N	
Basement Leakage*	F	I	The subfloor appears dry, there is some moisture ingress to the rear garage and foundation junction, this will need attention.
Storage Areas*	S	N	All appear in reasonable condition
Odors	N	N	
Mould / Mildew	Y	R	Yes to silicone on the vanity area, will need attention at some stage.
Pests	N	N	

Rating: Y=Yes N=No S=Satisfactory F=Fair/Marginal P=Poor U=Unsatisfactory MG=Missing SP=Suspect SA=Safety Issue NA=Not Applicable NV=Not Visible / Unknown
Action: N=None / Not Applicable I=Improve P=Provide / Install R=Repair / Replace C=Major Concern M=Monitor E=Further Evaluation

*This is neither a flood hazard assessment nor a full water penetration / infiltration evaluation for the structure. This section is limited to an assessment of water / moisture penetration visible at the time of inspection. Water / moisture penetration is subject to unpredictable changes and conditions. The occurrence of future water / moisture penetration cannot be determined. It is recommended you confirm the status of past water / moisture penetration with the current owner and local authorities if this is a concern.

We do Moisture scanning of all exterior walls, with every inspection carried out.

Comment

No significant issues with the interior found at the time of inspection. The interior of the home appears in reasonable overall condition. The moisture fluctuations to all exterior walls appear normal, except to the shower wall area and the lower exterior wall in the toilet area, this will need attention. There is movement cracking noted to areas, this is very common to most homes. All windows and doors appear in reasonable condition. The odd window needs easing and some window hardware needs attention. The carpet is showing heavy wear in places and will need attention at some stage. The odd internal door needs easing also. There is paint wear noted to areas, which is very common for a home of this age. The timber floor boards appear in good order noted. The tiled ceiling in the garage area is showing wear in areas noted. The exterior walls to this area are not to a tradesmen like manner and will need attention at some stage.

Interior Photographs



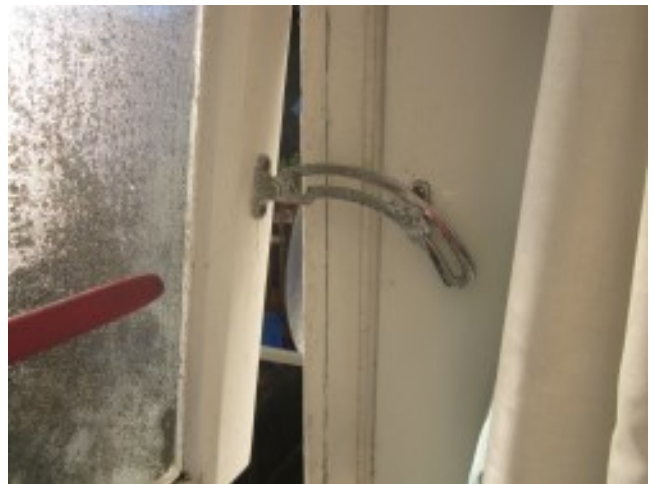
Bedroom one appears in reasonable condition



Door needs easing, minor maintenance



Moisture fluctuations to exterior walls appear normal



Window hardware needs attention to some windows



Paint wear noted to window frames, will need attention



Movement cracking noted, very common to most homes

Interior Photographs



Paint wear noted to lower skirting s noted



Bedroom two appears in reasonable condition



Moisture fluctuations to exterior walls appear normal



Movement cracking noted, very common to most homes



Heavy condensation noted to window frame



Cracked glass noted, will need attention

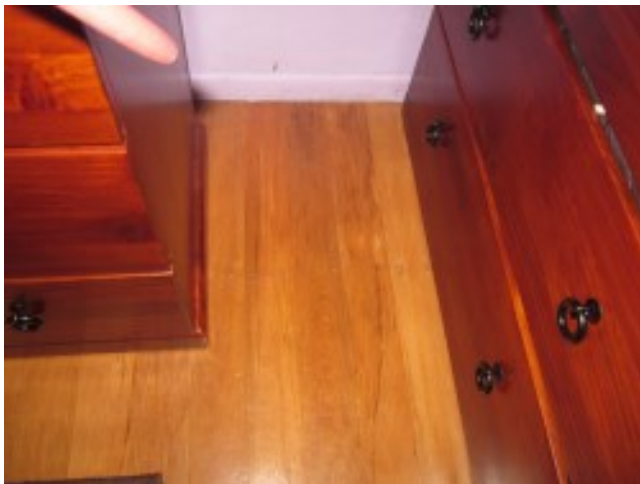
Interior Photographs



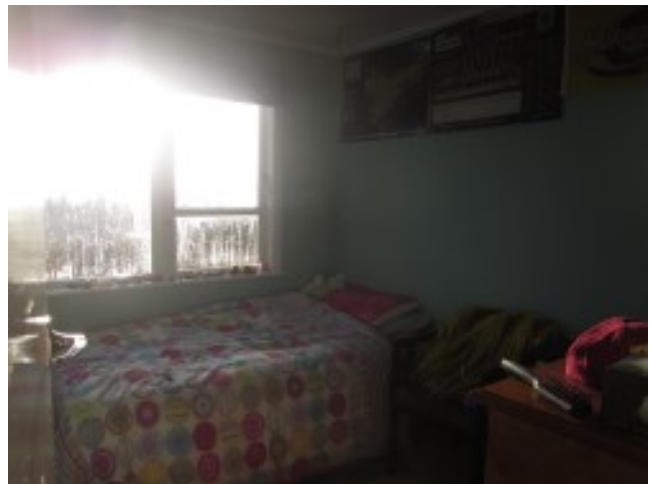
Wardrobe door needs easing noted



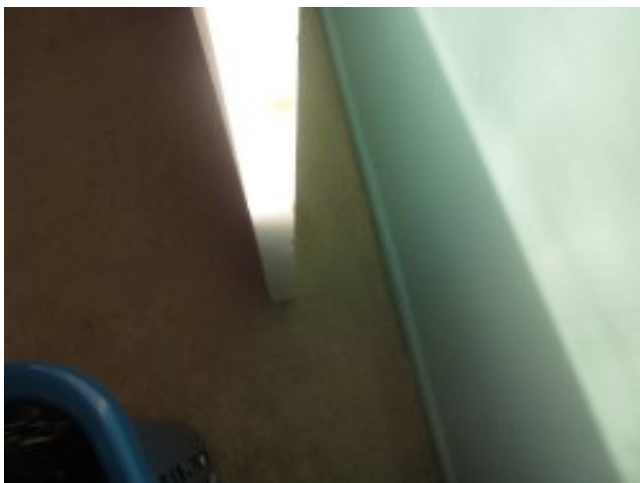
Patch noted to the ceiling area



Timber floor boards appear in good order



Bedroom three appears in reasonable order

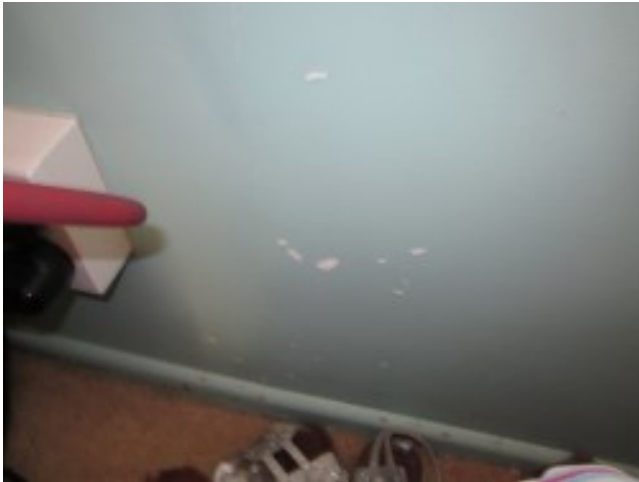


Recommend door stops to all internal doors



Door needs easing as sticking at the carpet

Interior Photographs



Paint wear noted, will need attention at some stage



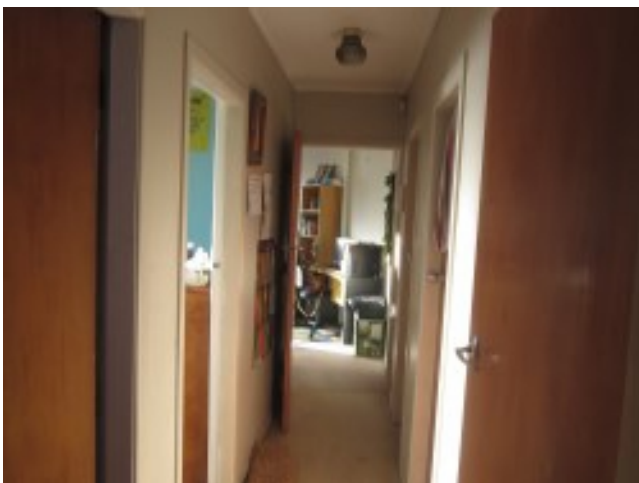
Carpet shows heavy wear in areas, will need attention



Windows needs easing minor maintenance



Moisture fluctuations to exterior walls appear normal



Hall way area appears in reasonable order

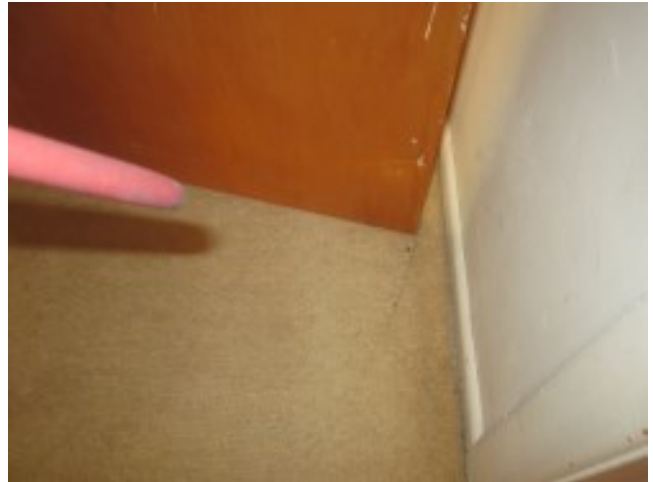


Carpet shows heavy wear in areas noted

Interior Photographs



Door trim shows wear, will need attention



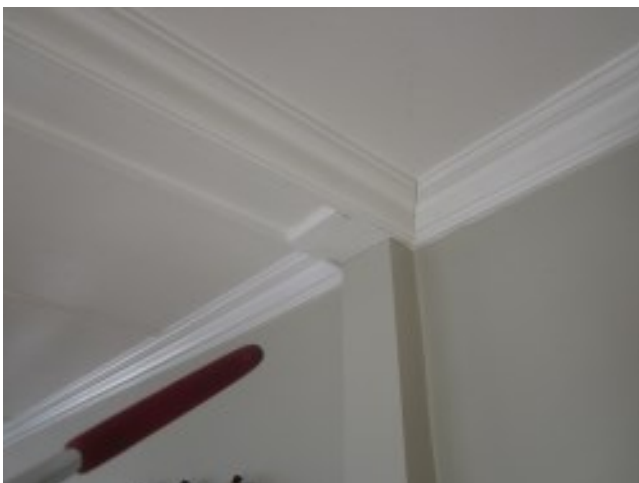
Door needs easing as is sticking at the carpet



The lounge area appears in reasonable condition



Cracked glass to front door noted, will need attention



All beams appear well fixed in place and in good order



Minor wear to the ceiling area noted

Interior Photographs



Movement cracking noted, very common to most homes



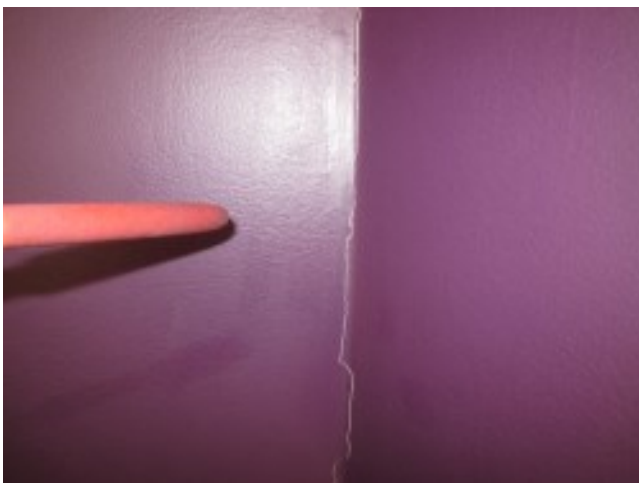
Wood burner noted appears in reasonable condition



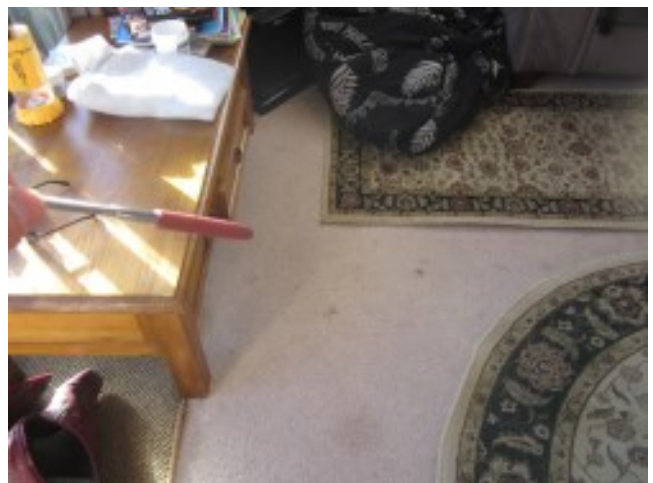
Moisture fluctuations to exterior walls appear normal



Paint wear noted to areas, will need attention at some stage



Movement cracking noted, very common to most homes



Carpet shows staining in areas noted

Interior Photographs



Dining room area appears in reasonable condition



Moisture fluctuations to exterior walls appear normal



Movement cracking noted, very common to most homes



Double garage area noted appears in average condition



Wrong sized framing used to garage area, will need attention



Garage framing has twisted, will need attention

Recommended Reading

The following reading materials are highly recommended. This information is presented for your educational purposes only. Informed House Inspections Ltd does not in any way suggest that you have to repair, replace or install any of the recommendations presented in the material. As with any home improvement project, it is always wise to advise yourself of all the options available. The information presented here provides you with some of the options for your consideration.

Title : Product Maintenance

Topic: Maintenance

Publisher: James Hardy

Cost: \$0.00

Website : <http://www.jameshardie.co.nz/index.php/page/productmaintenance>

Title : Home Insulation Funding

Topic: Maintenance

Publisher: EECA Energywise

Website : <http://www.energywise.govt.nz/funding-available/insulation-and-clean-heating>

Title : Controlling Mould in your house

Topic: Mould

Publisher: HNZN

File : <http://www.hnzc.co.nz/about-us/our-publications/factsheets/controlling-mould-in-your-house/controlling-mould-in-your-home.pdf>

Title : Preventing Mould and Mildew in your House

Topic: Maintenance

Publisher: Christchurch City Council

File : <http://resources.ccc.govt.nz/files/PreventingMouldandMildew-healthsafety.pdf>